



STATISTICS			
PARCEL TYPE	MAP SYMBOL	NUMBER OF PARCELS	AREA (ha)
Traditional Lots		9	9.7899
Commercial Lots	COMMERCIAL	1	1.0008
Public Open Space	P.O.S.	0	0
Drainage Reserves	A DRAINAGE	1	3.2699
Misc. Land Use Lots	\$	1	0.1231
Road Widening	ROAD WIDENING	1	0.3330
Roads (inc. truncations)			2.1120
STAGE TOTAL		12	16.6286

STAGE 2 STATISTICS			
PARCEL TYPE	MAP SYMBOL	NUMBER OF PARCELS	AREA (ha)
Traditional Lots		10	4.4696
Commercial Lots	COMMERCIAL	1	1.0455
Public Open Space	P.O.S.	0	0
Road Widening	ROAD WIDENING	1	0.0977
Roads (inc. truncations)			1.5952
STAGE TOTAL		11	7.2080

UNSTAGED 1 STATISTICS			
PARCEL TYPE	MAP SYMBOL	NUMBER OF PARCELS	AREA (ha)
Traditional Lots		76	50.2909
Commercial Lots	COMMERCIAL	3	4.0403
Public Open Space	P.O.S.	1	20.7425
Pump Station Site	PUMP STATION	1	0.1320
Drainage Reserves	A DRAINAGE	3	5.0880
Road Widening	ROAD WIDENING	1	3.4938
Roads (inc. truncations)			12.0875
STAGE TOTAL		84	95.8750

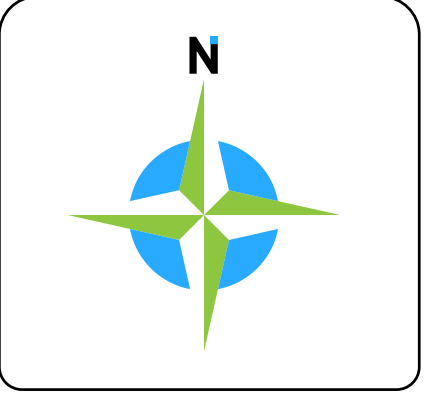
SUNSHINE PLACE

- (A) - DENOTES ELECTRICAL EASEMENT
- (B) - DENOTES TRANSFORMER / SWITCHGEAR SITE
- (C) - DENOTES 1298A RESTRICTIVE COVENANT
- (D) - DENOTES ROAD WIDENING FOR PROPOSED GAS SITE
- (E) - DENOTES DRAINAGE EASEMENT
- (F) - DENOTES SEWERAGE EASEMENT
- (G) - DENOTES 1360 RESTRICTIVE COVENANT

Ver.	Description	Drawn	Date	Checked
P	Add Lots 21 & 23 To Stage 2	APO	02/08/2022	MAD
O	Add Stage 1-2 and amend lot 24	APO	05/07/2022	MAD
N	Update easements	EVA	28/04/2020	MAD
M	Amend dims in Lot 37 and issue to distribution list as requested.	SDW	19/3/2020	MAD

FILES
map\COGO- 100479
Control Register:- 100479
File Name:- 100479pr-027p.dgn

PRECAL LEGEND
See below Lot Status table for further information
- Stage Boundary
..... Vehicle Access Restriction



CLIENT:
Cossill and Webley Consulting Engineers

The contents of this plan are current and correct as of the date stated within the revision panel. All consultants and persons wishing to utilise this data should satisfy themselves of this plans currency by contacting the McMillen Nolan Group.

Project Mngr: Mark A. DOBSON Datum PCG94

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Job Number Plan Number Version

40 0 SCALE 1: 2000 @ A1 - 1: 4000 @ A3 160

ALL DISTANCES ARE IN METRES

For a true to scale reproduction of this plan, plot it to A1 with the Paging Scaling set to None.

PLANNER'S DESIGN SOURCE for Rev H
Planner - URBIS
Received date:- 23/08/2019
File name:- P0006347_MG_DES.dwg

ENGINEER'S DESIGN SOURCE for Rev L
Engineer - Landcorp
Received date:- 02/12/2019
Data purpose:- Electrical Design

All areas and dimensions depicted on this plan are subject to survey and Landgate registration. All cadastral information external to the stage's which form the subject of this plan are not guaranteed and are supplied as a guide only.



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